



HILL CLEMENTS
SUCCESSFULLY SELLING SINCE 1991

PRICE GUIDE

£1,500,000

8, Snowdenham Hall

Bramley, GU5 0DB

In the picturesque Thorncombe Valley, on the edge of popular Bramley Village - a superb ground floor apartment with its own stunning garden, set in communal park-like grounds with hard tennis court

PROPERTY SUMMARY

8 Snowdenham Hall is an exceptional ground floor apartment, forming part of the magnificent Grade II Listed Victorian mansion, built in 1886 for Robert Courage the first chairman of the famous brewing group. The mansion was converted by Michael Wilson Restorations in 1999/2000 into 9 stunning apartments, which sit in glorious communal grounds with hard tennis court. 8 Snowdenham Hall has its own entrance through lovely private gardens and comprises three/four bedrooms and three bathrooms, with two very lovely bedroom suites, the principal of which has an en suite dressing room and bathroom. The Drawing Room and Dining Room are two elegant rooms, both with french doors leading to the gardens, which are excellent for entertaining. There is a feature restored original dresser in the Drawing Room. There is also a study, a snug/bedroom and a fourth bedroom/loft room. The kitchen has an adjoining breakfast room, and there are beautiful views over the communal grounds. All the rooms are well proportioned with high ceilings and large windows and the whole atmosphere is of charm and elegance. There are two private parking spaces for number 8 in front of its gated entrance and there is also one allocated space in the underground car park. In the heart of the mansion is a double height, vaulted great hall, which provides a breathtaking communal reception area for all the residents to share.



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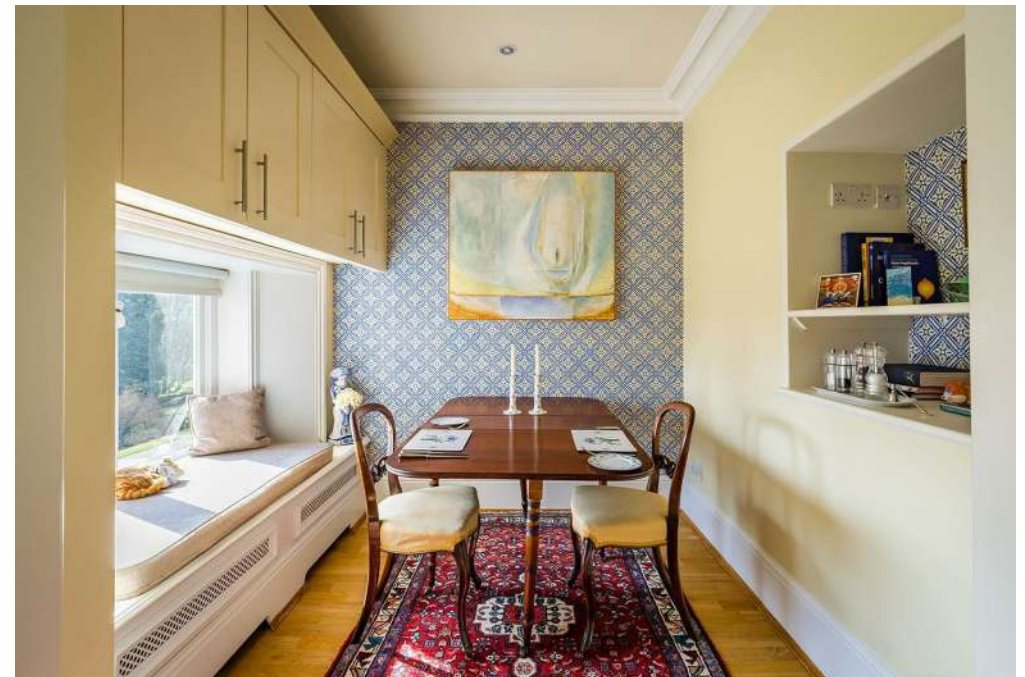






Snowdenham Hall stands in a commanding position with lovely views looking south across the Thorncombe Valley and is set in glorious park-like communal grounds. Although the atmosphere is very peaceful and rural, the location is within a mile of Bramley village with its two small supermarkets, two pubs, fine butchers, library and take aways. Guildford is 3 miles to the north with its Historic High Street and excellent range of shops, restaurants and bars, and here the main line station provides a regular commuter service to Waterloo in 38 minutes. Godalming is a similar distance with its shops, restaurants and bars and large supermarkets. Cranleigh is six miles with a bustling High Street and three supermarkets and the whole area is surrounded by beautiful countryside renowned for its scenic beauty and lovely walks.

NB: The apartment is leasehold with a share of freehold and the the lease is 999 years from 2000. The service charge for 2025/6 will be £12,845, but this will likely decrease for 2027 to approximately £10,000.







Bramley High Street and shops - 0.9 mile

Guildford High Street and main line station - 3.5 miles

Godalming High Street and main line station - 3 miles

Cranleigh High Street - 6 miles



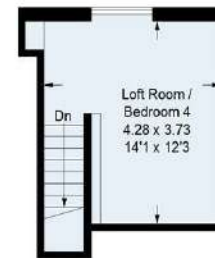
DIRECTIONS

From Guildford's one way system take the A281 Horsham Road, passing through Shalford and on to Bramley. At the roundabout in Bramley, turn right into Snowdenham Lane. Proceed for about half a mile and the entrance to Snowdenham Hall will be seen on the right, just on the junction with Iron Lane. At the security gates press number 8 and follow the drive up to the main house. Apartment 8 will be seen directly in front of you, with parking on the left. The private entrance is through the black gate, directly into the private garden.



Snowdenham Lane, Bramley

Approximate Gross Internal Area
Ground Floor = 212 sq m / 2377 sq ft
First Floor = 16 sq m / 174 sq ft
Total = 237 sq m / 2551 sq ft



LOCAL AUTHORITY

Waverley

TENURE

Share of Freehold

COUNCIL TAX BAND

G

VIEWINGS

By prior appointment only

Energy Efficiency Rating		Current	Potential
<i>Very energy efficient - lower running costs</i>			
(92 plus)	A		
(81-91)	B		
(69-80)	C		80
(55-68)	D	56	
(39-54)	E		
(21-38)	F		
(1-20)	G		
<i>Not energy efficient - higher running costs</i>			
England & Wales		EU Directive 2002/91/EC	

Agents Note: Whilst every care has been taken to prepare these particulars, they are for guidance purposes only. All measurements are approximate and are for general guidance purposes only and whilst every care has been taken to ensure their accuracy, they should not be relied upon and potential buyers/tenants are advised to recheck the measurements



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OFFICE ADDRESS

6 Quarry Street
Guildford
Surrey
GU1 3UR

OFFICE DETAILS

01483 300300
info@hillclements.com
<https://hillclements.com/>